

# Notice of public advertisement of development application

Planning and Development Act 2005  
Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 Clauses 64(4) & 86(3)  
Shire of Derby/West Kimberley Local Planning Scheme No.9

The Shire of Derby/West Kimberley has received a development application to use and/or develop land for the following purpose and public comments are invited.

Property Address	Lot 258, 39 Loch Street, Derby
Proposal	Workforce Accommodation
Date of Notice	03 June, 2025
Application Number	DA24/25

The application includes the following proposed development:

- Five X two bedroom self contained workers accommodation units.
- 10 X car parking bays.
- Site works and retaining walls along the side and rear lot boundaries.

The workforce accommodation component of the proposal is classified as an “A” (Advertising) use within the Mixed Use Zone in accordance with the Use Class Table in the Local Planning Scheme No. 9. An “A” use means that the use is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Viewing plans and making submissions Associated plans can be viewed here: <https://www.sdwk.wa.gov.au/publicnotices/>

## Submissions

Comments on the proposal should be submitted to the Shire by mail or online no later than 5pm on **18 June 2025**. Please note, submitter details including names and addresses may be made publicly available should the application be determined by Council or other agency.

All comments received will be taken into consideration as part of the assessment process. In the event that you provide your comments, details of the final determination will be provided to you.

If you require further information please contact the Shire of Derby on 9191 0999 or [sdwk@sdwk.wa.gov.au](mailto:sdwk@sdwk.wa.gov.au)

Our Refs: DA24/25

**TO WHOM IT MAY CONCERN,**

## **Notice of public advertisement of development application**

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**Shire of Derby /  
West Kimberley**

If you require further information please contact the Shire of Derby/West Kimberley on 9191 0999  
or [sdwk@sdwk.wa.gov.au](mailto:sdwk@sdwk.wa.gov.au)

Yours faithfully,

A handwritten signature in black ink, appearing to read "Tamara Clarkson". The signature is fluid and cursive, with a long, sweeping underline.

Tamara Clarkson  
Chief Executive Officer









Sheet List	
Sheet Number	Sheet Name
A.000	COVER PAGE
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A.002	SITE SURVEY - EXISTING
A.003	PROPOSED STORMWATER MANAGMENT PLAN
A.004	SITE ARRANGEMENT PLAN
A.005	SITE ELEVATIONS
A.006	SECTION - SITE SECTION
A.100	FLOOR PLAN - TYPE A ACCESSIBLE DWELLING
A.101	FLOOR PLAN - TYPE B DWELLING
A.200	ELEVATIONS - TYPE A ACCESSIBLE DWELLING
A.201	ELEVATIONS - TYPE B DWELLING
A.300	SECTION - TYPE A ACCESSIBLE DWELLING
A.301	SECTION - TYPE B DWELLING

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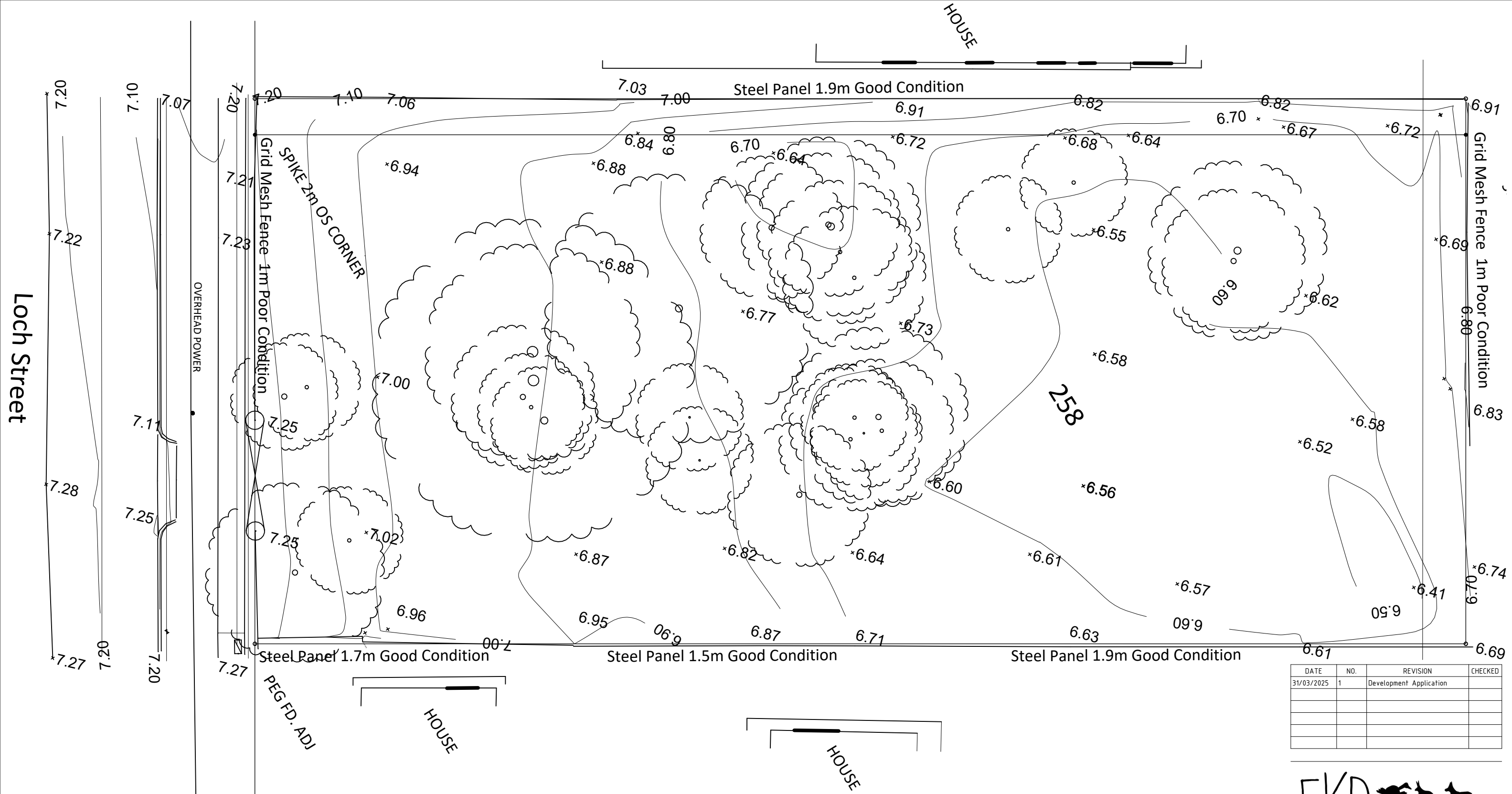
WALALAKOO – HOUSING  
LOT 258, 39 LOCK STREET

COVER PAGE

DRAWN	MD	DESIGNED	MD	REDUCTION	
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APPROVED	RK				
SCALE	1 : 1000 @ A3	DATE	31/03/2025	DRAWING No.	REV
DF PROJ No.	25003	DF FILE No.	-	A.000	1

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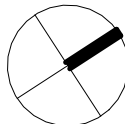
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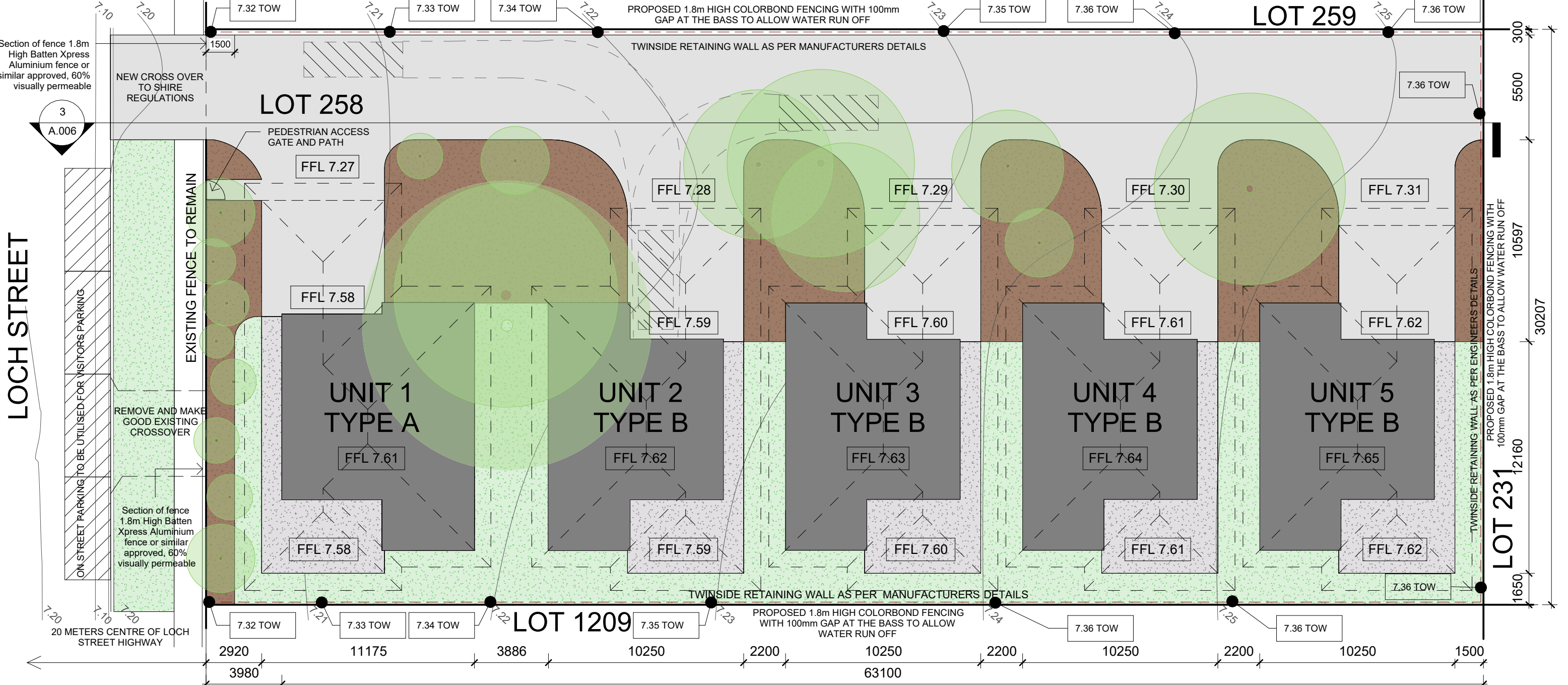
WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET

## SITE SURVEY - EXISTING



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DF PROJ No. 25003	DF FILE No. -	1		

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LOT 258, 39 LOCH STREET, DERBY, WA, 6728 - WORKFORCE ACCOMMODATION	
LOT R CODE	R35
SITE AREA	2026m <sup>2</sup>
OPEN SPACE REQUIREMENT	40% (810.4m <sup>2</sup> )
TYPE A - ACCESSIBLE DWELLING	
INTERNAL DWELLING AREA	113.6m <sup>2</sup>
CARPORT	38.6m <sup>2</sup>
OUTSIDE LIVING	35m <sup>2</sup>
TYPE B - DWELLING	
INTERNAL DWELLING AREA	96.6m <sup>2</sup>
CARPORT	36.4m <sup>2</sup>
OUTSIDE LIVING	32.3m <sup>2</sup>
TOTAL AREAS	
TOTAL INTERNAL DWELLING AREA	500m <sup>2</sup>
TOTAL CARPORT AREA	184.2m <sup>2</sup>
TOTAL OUTSIDE LIVING	164.2m <sup>2</sup>
TOTAL BUILDING AREA (NOT INCLUDING OUTSIDE LIVING)	684.2m <sup>2</sup> (33.8%)
REMAINING OPEN SPACE	1341.8m <sup>2</sup> (66.2%)

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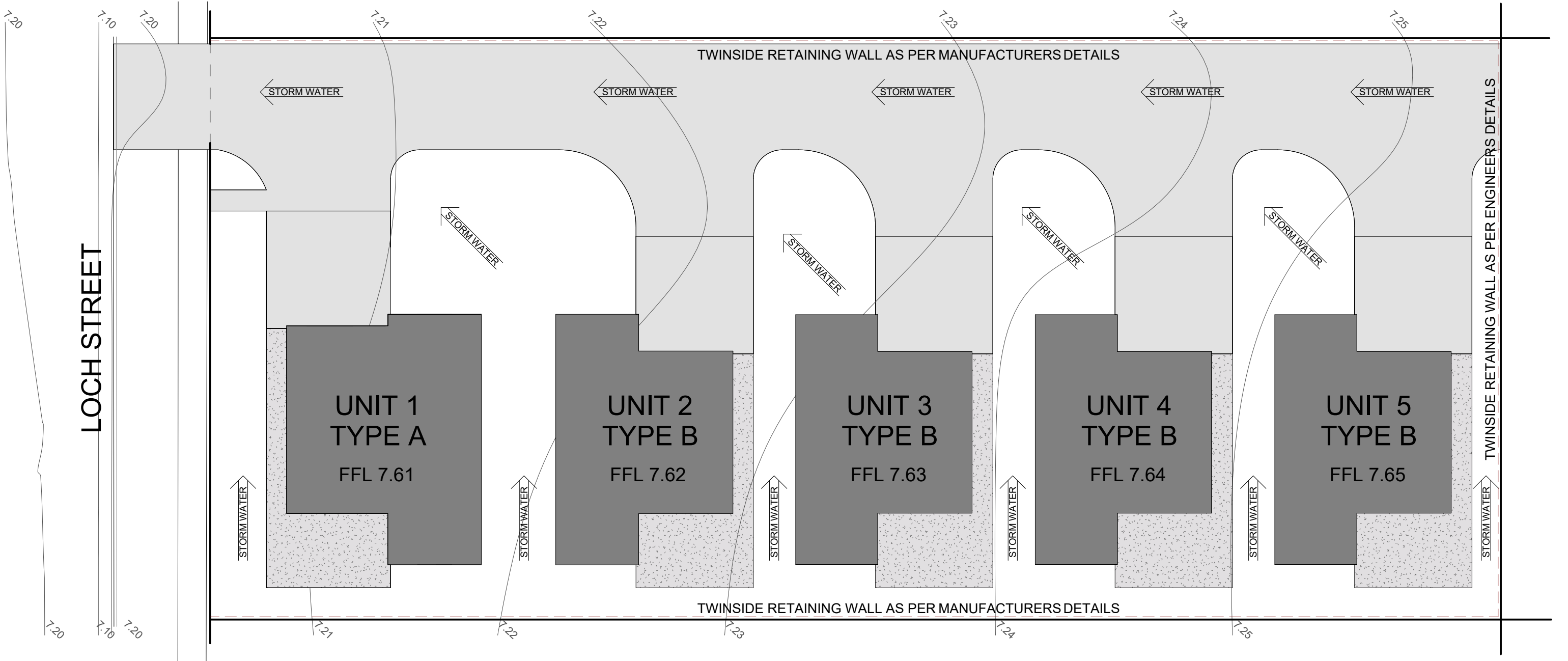
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WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET

SITE PLAN - PROPOSED

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DF PROJ No. 25003	DF FILE No. -	A.001	1

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NOTE

SITE STORMWATER MANAGEMENT AND LEVELS TO BE CONFIRMED BY CIVIL ENGINEERS SPECIFICATIONS

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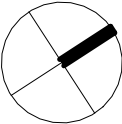


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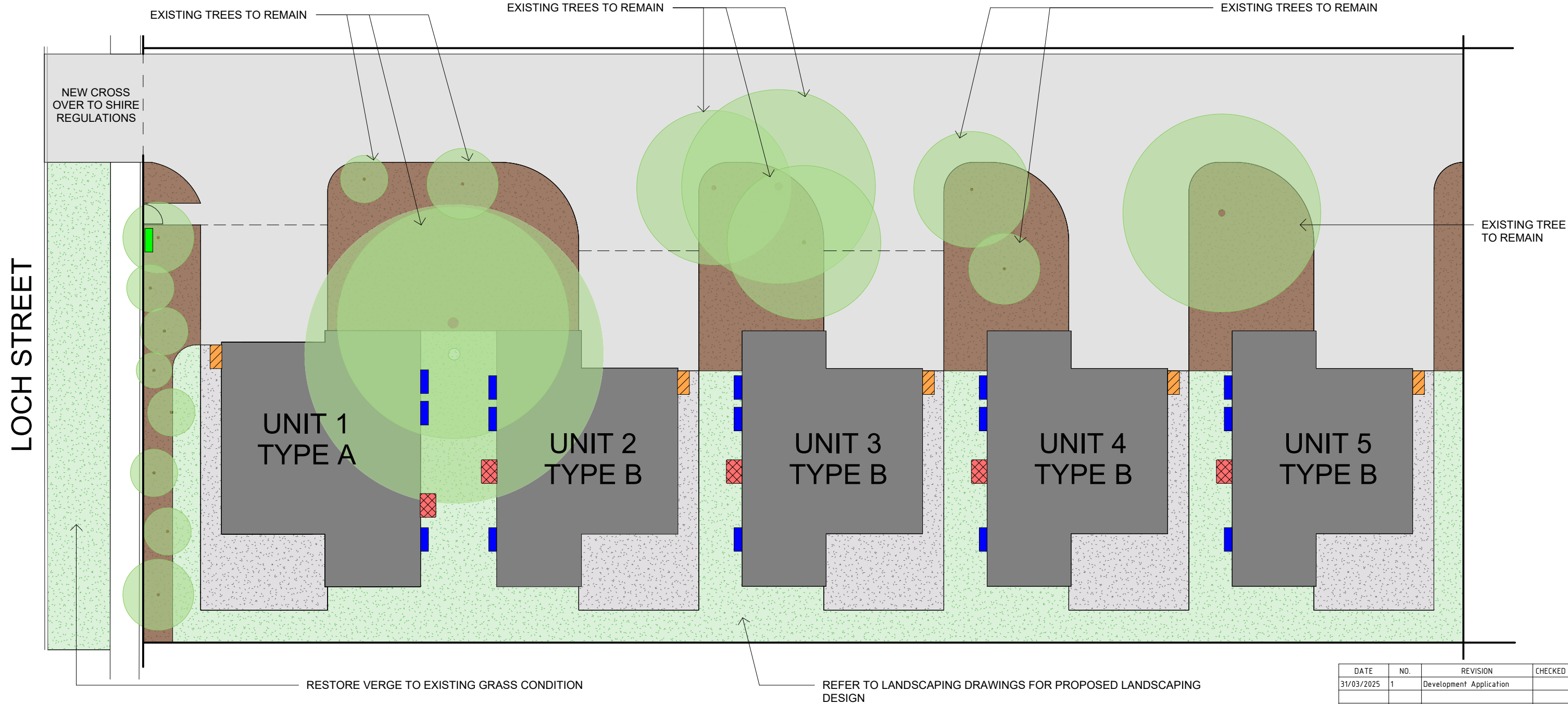
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WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET  
PROPOSED STORMWATER  
MANAGMENT PLAN







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#### KEY

-  BIN STORGAE LOCATION - BINS TO BE SCREENED WITH IN SLATTS COLOR BOND ALUMINIUM FENCING
-  WASHING LINE LOCATION - WALL MOUNTED WASHING LINE TO BE 1200mm WIDE BY 800mm DEEP
-  AIR-CONDITIONING COMPRESSORS LOCATIONS
-  SITE METER BOX

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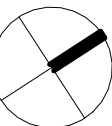
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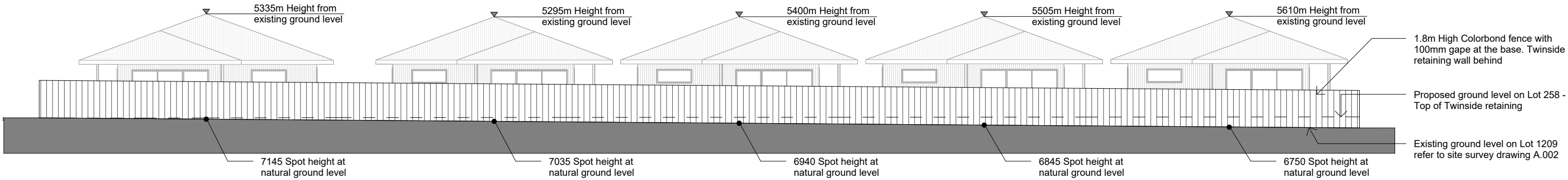
WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET

SITE ARRANGEMENT PLAN

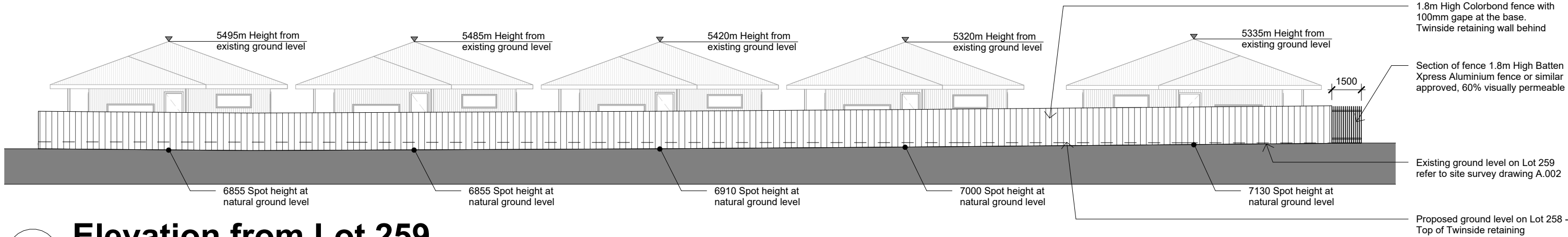


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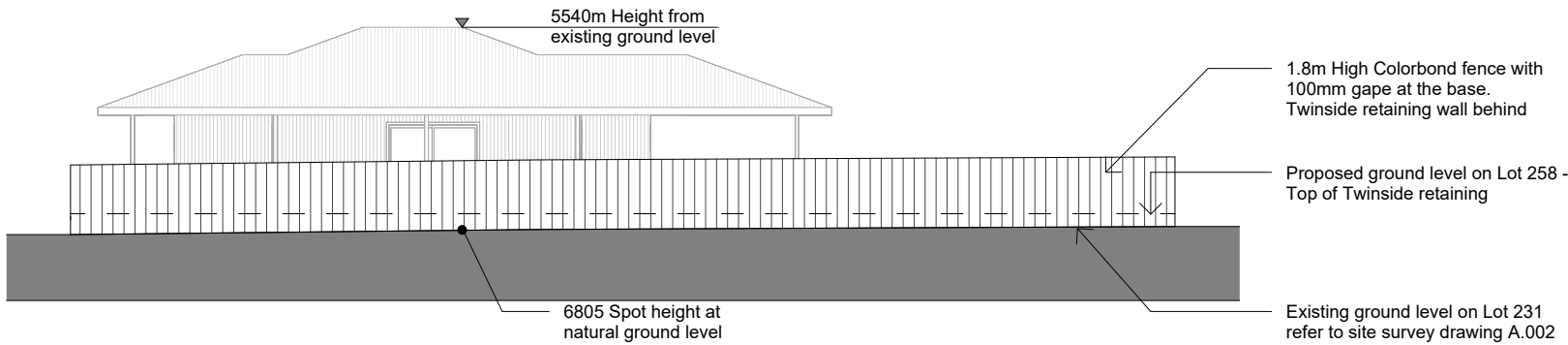
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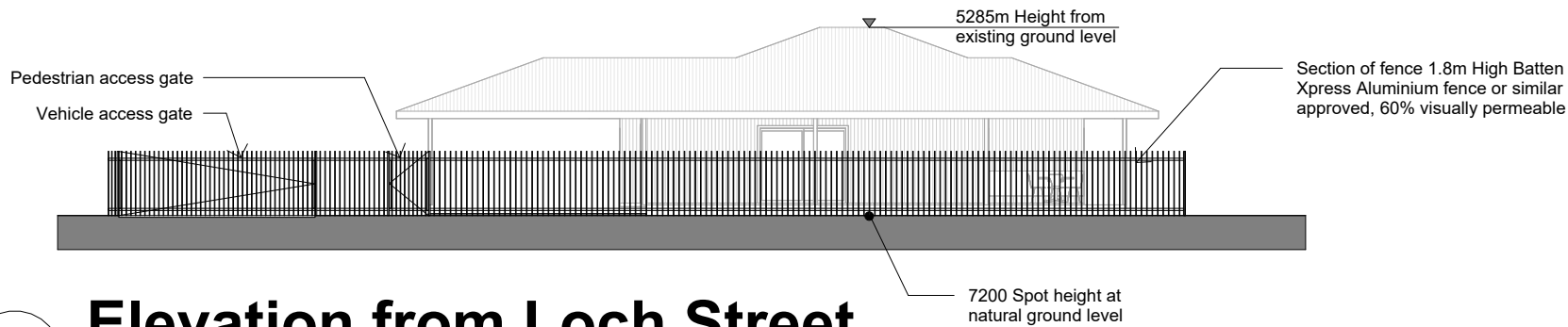
1 Elevation from Lot 1209  
1 : 200



3 Elevation from Lot 259  
1 : 200



2 Elevation from Lot 231  
1 : 200



4 Elevation from Loch Street  
1 : 200

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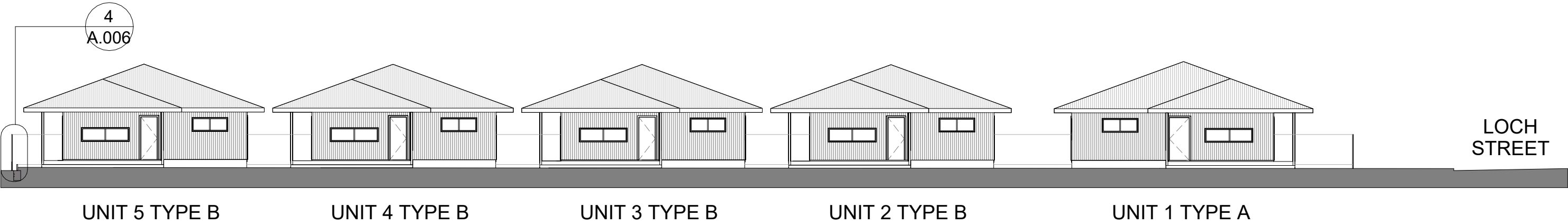
WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET

SITE ELEVATIONS

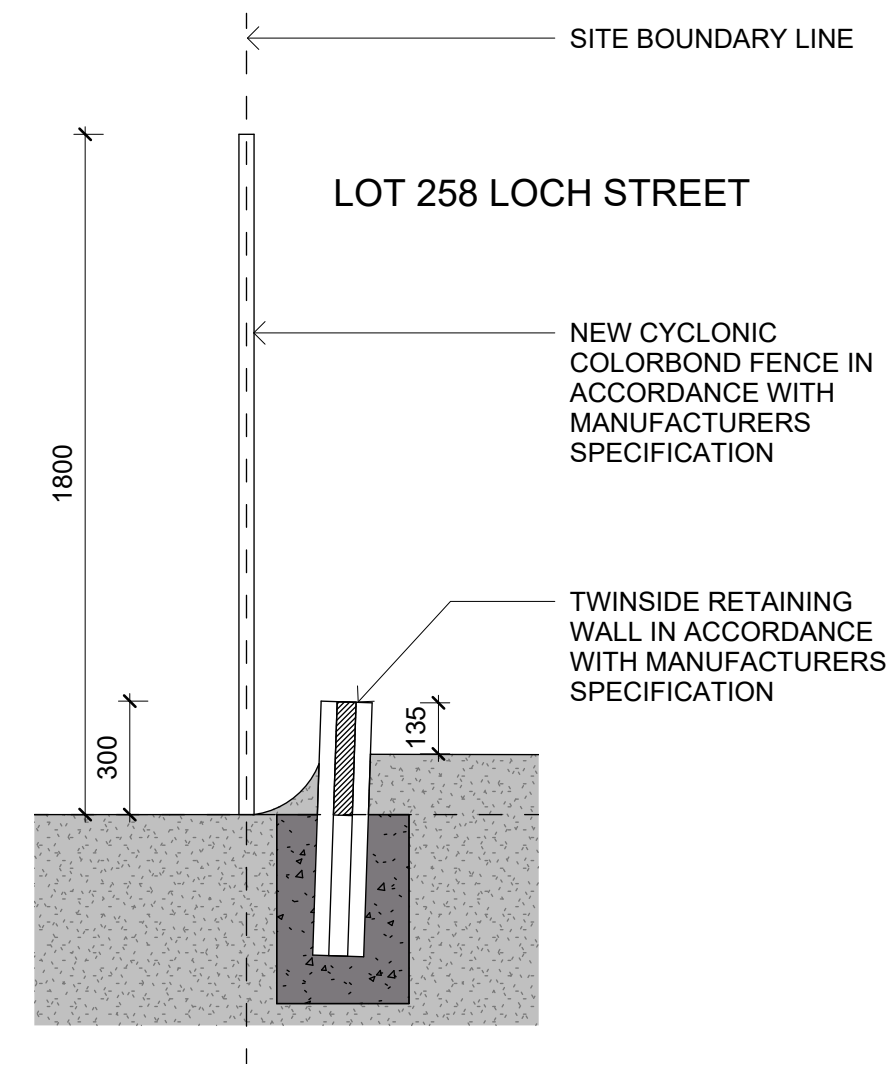
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3 SITE SECTION  
1 : 200



4 TYPICAL RETTAINING WALL SECTION  
1 : 20

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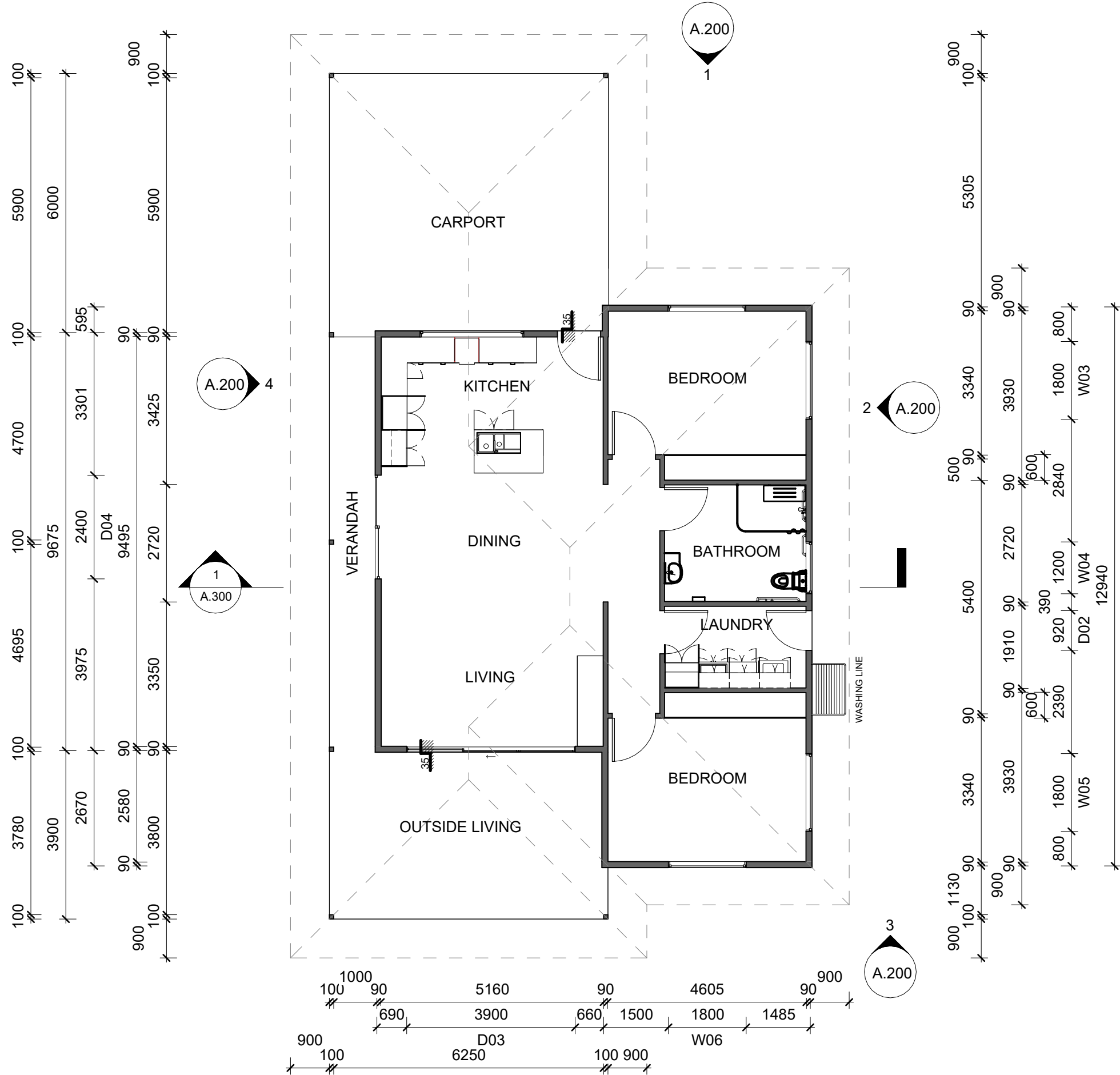
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WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET

SECTION - SITE SECTION

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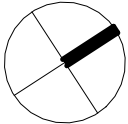


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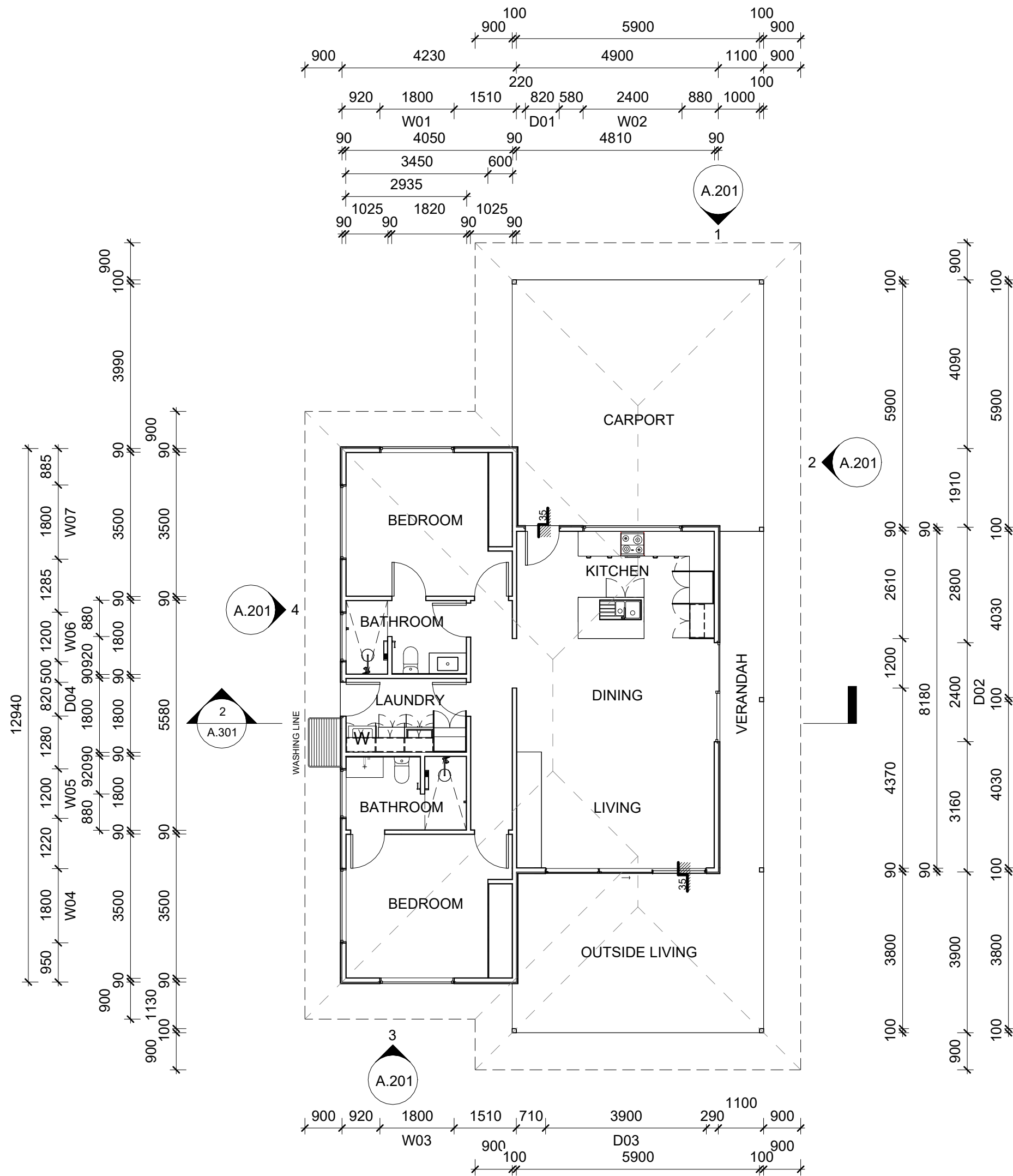
WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET  
FLOOR PLAN - TYPE A  
ACCESSIBLE DWELLING



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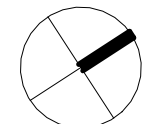
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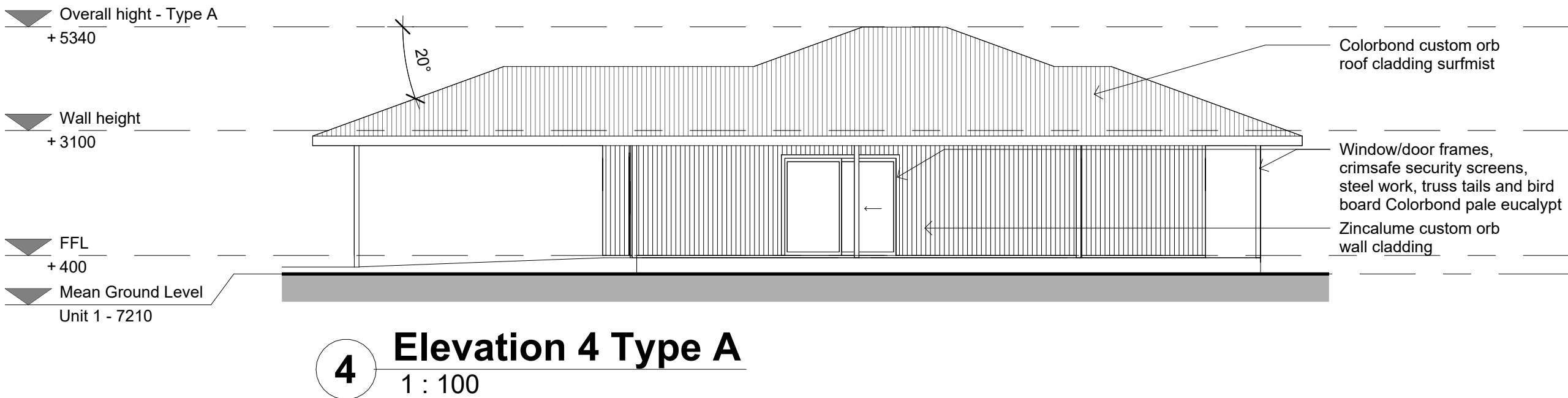
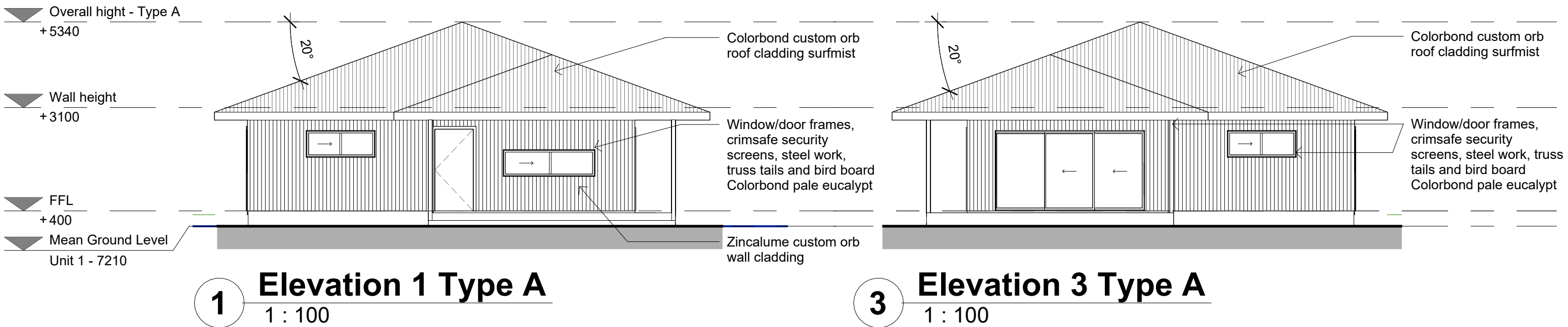
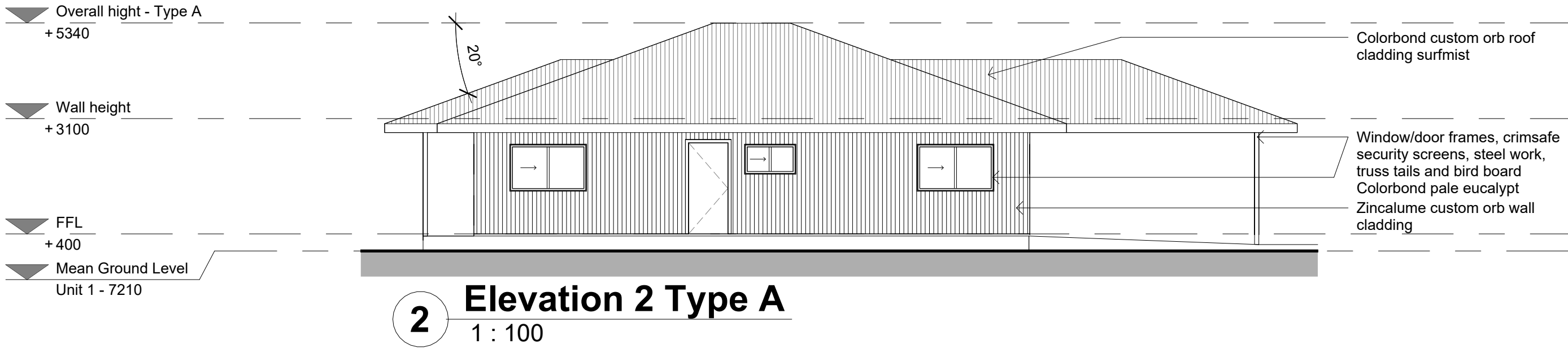
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WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET  
FLOOR PLAN - TYPE B  
DWELLING



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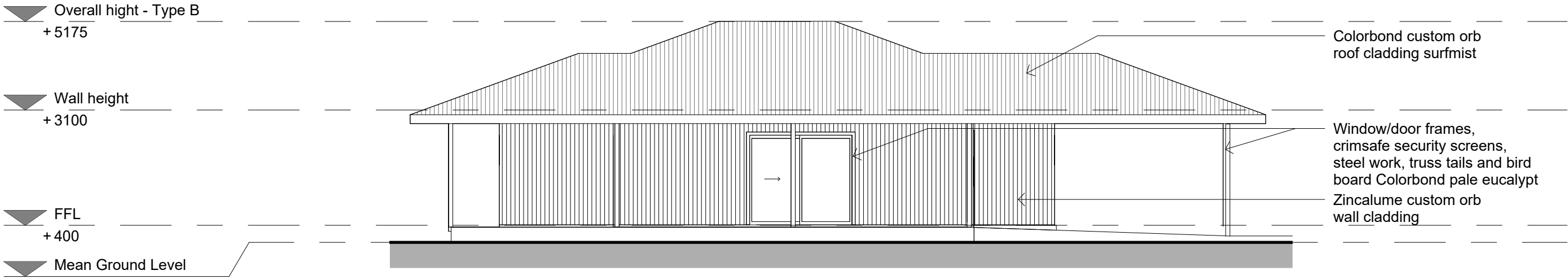
#### ARCHITECTURE

WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET  
ELEVATIONS - TYPE A  
ACCESSIBLE DWELLING

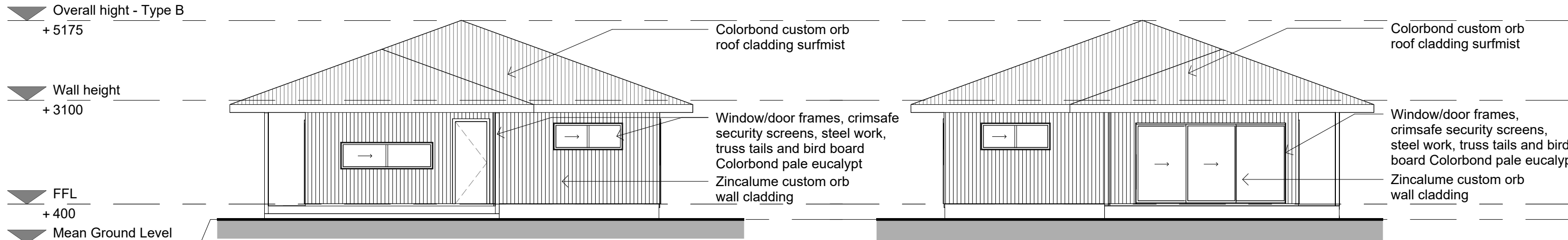
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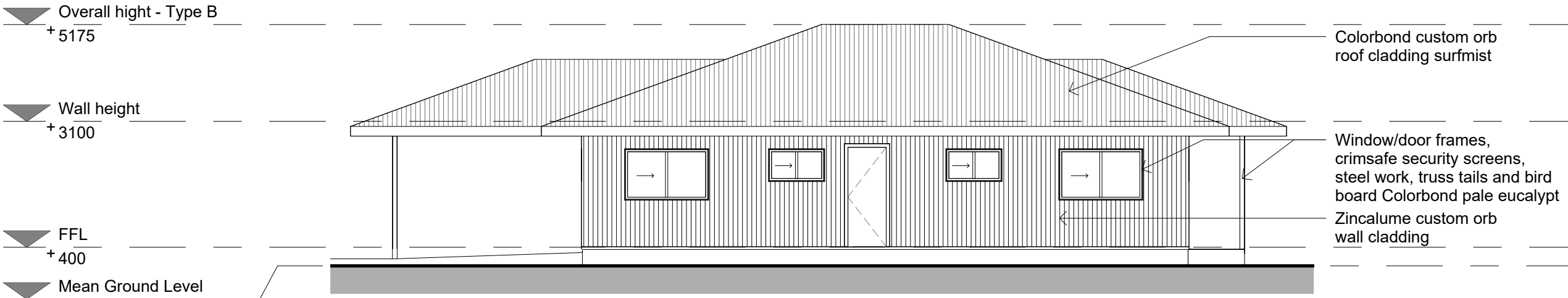


**2** Elevation 2 Type B  
1 : 100



**1** Elevation 1 Type B  
1 : 100

**3** Elevation 3 Type B  
1 : 100



**4** Elevation 4 Type B  
1 : 100

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WALALAKOO - HOUSING  
LOT 258, 39 LOCK STREET  
ELEVATIONS - TYPE B  
DWELLING

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